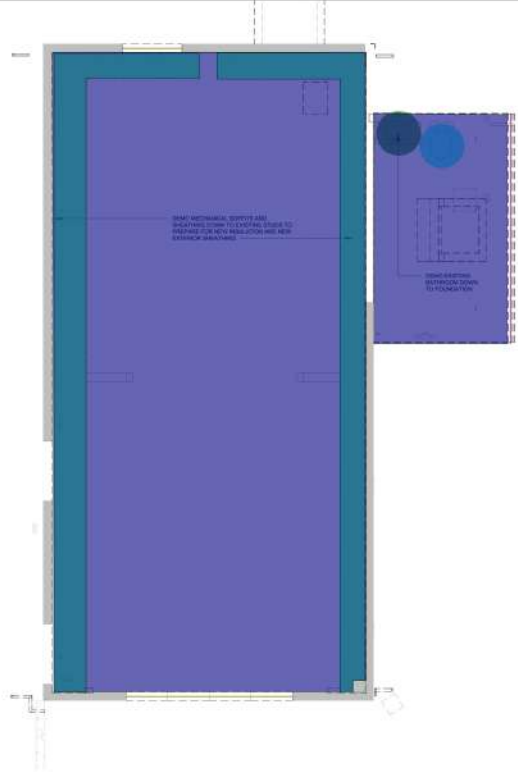


- Existing Water Closet with Connection to be Removed 1.0 EA
- Existing Lavatory To be Removed 1.0 EA
- Existing Studwork to be Removed 14.5 FT
- Existing Roof Gutter to be Removed 14.8 FT
- Existing Floor Finish to be Removed 946.3 SQ FT
- Existing Mechanical Soffit to be Removed 175.0 SQ FT

- 1.0 EA
- 1.0 EA
- 14.5 FT
- 14.8 FT
- 946.3 SQ FT
- 175.0 SQ FT



1 EXISTING FLOOR PLAN DEMO
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

- A. EXISTING MASONRY FOUNDATION WALLS AND CONCRETE FOOTINGS TO REMAIN. EXISTING EXTERIOR WALLS AND ROOF TO REMAIN.
- B. REMOVE FROM SITE AND LEGALLY DEPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND CONSTRUCTION OPERATIONS.
- C. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY EXISTING UTILITIES NOT INDICATED ON DEMO/CONSTRUCTION PLANS THAT MAY INTERFERE WITH THE COMPLETION OF PROPOSED WORK.

--- TO BE REMOVED
 ■ EXISTING TO REMAIN

DEMOLITION KEYNOTES

1 DEMO KEYNOTE

103 91st Ave SE, Lake Stevens, WA 98258 4254780327

www.drift-la.com



Registered Architect in WA State

JOY MORTON'S ADU

CLIENT NAME: JOY MORTON
 PROJECT ADDRESS: 11025 KELLY RD NE
 REGISTERED ARCHITECT: JOY MORTON
 REGISTERED CONTRACTOR: [Blank]
 REGISTERED ADDRESS: [Blank]

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT

SPD PERMIT NUMBER: XXXXXX
 Blah Project Number: XXXXXX

CREATED BY: Author

DRAWING NAME: EXISTING / DEMO PLAN

DRAWING NO: A000

SCALE: 1/4" = 1'-0"



- Mark 10 - (36"W x 80"H) Single Leaf Wood Door
- Mark D2 - (30"W x 84"H) Single Leaf Wood Door
- Mark D2G - (30"W x 77"H) Single Leaf Glass Door
- Mark D3 - (32"W x 88"H) Single Leaf Wood Door
- Mark D4 - (36"W x 80"H) Single Leaf Wood Door
- Mark D6S - (66"W x 72"H) Single Leaf Wood Door
- Mark D9 - (36"W x 84"H) Single Leaf Wood Door
- Mark D10 - (48"W x 80"H) Single Leaf Wood Door
- W1 - (32"W x 32"H) Fixed Window
- W2 - (46"W x 20"H) Fixed Window
- W3 - (46"W x 60"H) Fixed Window
- Water Closet
- Lavatory
- Bar Sink
- Kitchen Sink
- Dog Wash Tub
- Lavatory Backsplash
- Kitchen Backsplash
- Wooden Base
- Dog Wash Tub Wall Tile
- Tile Base
- Lavatory Countertop
- Indoor/Outdoor Fireplace
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-8" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-8" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-8" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-8" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-8" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-8" H)
- Exhaust Fan - 50 CFM
- Pantry Millwork
- Hardwood Floor
- Tile Floor
- Floor Transition Strip (Wood Vs Tile)
- 2x6 Exterior Wood Stud Wall @ 16" O.C (8'-5"H)
- 2x4 Exterior Wood Stud Wall @ 16" O.C (8'-5"H)
- 2x4 Exterior Wood Stud Wall @ 16" O.C (8'-5"H)
- 2x6 Exterior Wood Stud Wall @ 16" O.C (8'-5"H)
- Kitchen Exhaust Fan - 100 CFM
- Kitchen Exhaust Hoods - 400 CFM
- Bathroom Exhaust Fan - 50 CFM
- Exterior Hardscaping
- GL1 - 4' W Exterior Glazing (30 Sf)
- GL2 - 5'-6" W Exterior Glazing (59 Sf)
- GL2 - 5'-6" W Exterior Glazing (53 Sf)
- GL2 - 5'-6" W Exterior Glazing (54 Sf)

FLOOR 1 GENERAL NOTES

- 2.0 EA
- 2.0 EA
- 2.0 EA
- 4.0 EA
- 2.0 EA
- 2.0 EA
- 2.0 EA
- 2.0 EA
- 4.0 EA
- 7.0 EA
- 6.0 EA
- 1.0 EA
- 1.0 EA
- 1.0 EA
- 1.0 EA
- 1.0 EA
- 8.5 FT
- 16.0 FT
- 206.1 FT
- 11.0 FT
- 30.7 FT
- 14.6 SQ FT
- 1.0 EA
- 24.9 FT
- 13.9 FT
- 11.8 FT
- 3.5 FT
- 6.3 FT
- 27.6 FT
- 1.0 EA
- 9.2 FT
- 1234.4 SQ FT
- 100.0 SQ FT
- 5.7 FT
- 92.6 FT
- 62.1 FT
- 4.0 FT
- 13.3 FT
- 1.0 EA
- 1.0 EA
- 4.0 EA
- 2.0 EA
- 2.0 EA
- 1.0 EA
- 1.0 EA

FLOOR 1 KEYNOTES

- 1218.3 SQ FT
- 1.0 EA
- 1.0 EA
- 1.0 EA
- 1.0 EA
- 1.0 EA
- 1.0 EA

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
10	36"	80"		<varies>
D2	30"	84"		<varies>
D2G	30"	77"		GLASS DOOR
D3	32"	88"		<varies>
D4	36"	80"		<varies>
D6S	66"	72"		<varies>
D9	36"	84"		<varies>
D10	48"	80"		<varies>
EXD				EXISTING DOOR
TOTAL:			20	

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
W1	32"	32"		FIXED WINDOW
W2	46"	20"		<varies>
W3	46"	60"		<varies>
TOTAL:			17	

GLAZING SCHEDULE

MARK	AREA	COUNT	TYPE
GL1	30 SF		4' WIDE
GL1	30 SF		4' WIDE
GL1	30 SF		4' WIDE
GL1	30 SF		4' WIDE
GL2	59 SF		5' 6" WIDE
GL2	53 SF		5' 6" WIDE
GL2	54 SF		5' 6" WIDE
GL2	59 SF		5' 6" WIDE
TOTAL:			8

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www.drift-ia.com

Registered Architect
JOY MORTON
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JOY MORTON'S ADU

Revision Log

REV #	DATE	DESCRIPTION
1	Date 1	Revision 1

STATUS: PERMIT

DRG PROJECT NUMBER: XXXXXX

Mark Project Number: XXXXXX

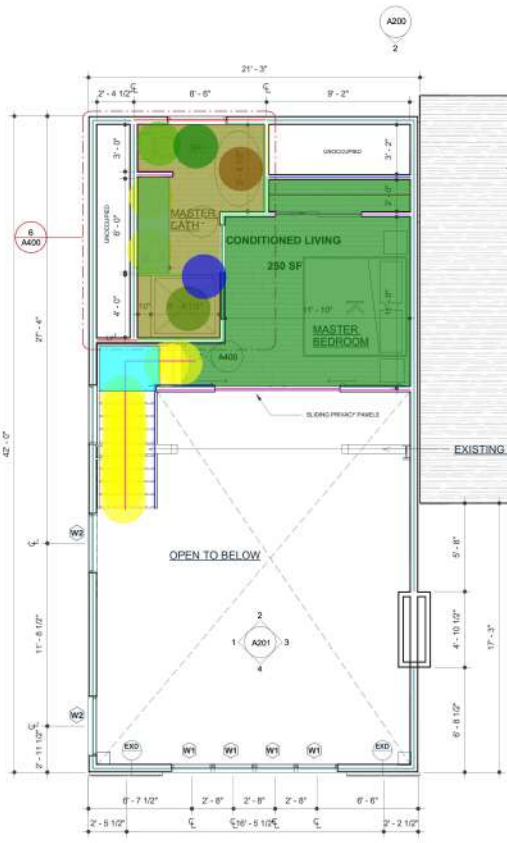
Drawn By: KRB

Sheet Name: FLOOR PLAN

Sheet No: A101B

Date: 1/4" = 1'-0"

1 PROPOSED FIRST FLOOR PLAN Copy 1
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN Copy 1
1/4" = 1'-0"

- Water Closet
- Lavatory
- Bath Tub
- Shower
- Lavatory Backsplash
- Shower Wall Tile
- Wooden Base
- Tile Base
- Bath Wall Tile
- Closet Millwork
- Lavatory Countertop
- 11" Tread & 7" Riser & 3'-6" W Wood Step
- (36" H) Stair Handrail
- (3) Timberland LSE 1.3E 11 7/8" x 1 3/4" Or Equivalent Stringers
- Stair Landing
- 2x6 Interior Wood Stud Wall @ 16" O.C (7'-2" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-2" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-2" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-2" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-2" H)
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-2" H)
- 2x6 Exterior Wood Stud Wall @ 16" O.C (8'-0" H)
- 2x6 Exterior Wood Stud Wall @ 16" O.C (8'-0" H)
- Hardwood Floor
- Shower Glass Partition
- (2'-2" W x 6'-8" H) Shower Glass Door
- Tile Floor
- 2x4 Interior Wood Stud Wall @ 16" O.C (7'-2" H)
- Bathroom Exhaust Fan - 50 CFM

- 1.0 EA
- 2.0 EA
- 1.0 EA
- 1.0 EA
- 6.1 FT
- 13.2 FT
- 13.7 FT
- 7.9 FT
- 10.8 FT
- 9.1 FT
- 12.4 SQ FT
- 11.0 EA
- 11.8 FT
- 14.1 FT
- 11.0 SQ FT
- 13.7 FT
- 2.6 FT
- 18.7 FT
- 3.3 FT
- 9.1 FT
- 25.4 FT
- 110.6 FT
- 8.5 FT
- 156.6 SQ FT
- 3.0 FT
- 1.0 EA
- 87.7 SQ FT
- 2.3 FT
- 1.0 EA

FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE. EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE. EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- 50 CFM EXHAUST FAN AT ALL NEW BATHROOMS
- CONTRACTOR WILL APPLY FOR PLUMBING, MECHANICAL, ELECTRICAL PERMITS SEPARATELY.
- IRC M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.
- IRC M1505.4.1 WHOLE-HOUSE SYSTEM COMPONENT REQUIREMENTS WHOLE-HOUSE VENTILATION SUPPLY AND EXHAUST FANS SPECIFIED IN THIS SECTION SHALL HAVE A MINIMUM EFFICACY AS PRESCRIBED IN THE WASHINGTON STATE ENERGY CODE.
 - IN NEW MASTER BATH AND W/C ON MAIN FLOOR, INSTALL PANASONIC WHERPERLLET FAN SIZED PER SPACE (5 CFM, 1.0 SONES OR BETTER). FANS SHALL TERMINATE HORIZONTALLY TO THE EXTERIOR OF THE HOUSE.
 - NEW KITCHEN HOOD TO BE SELECTED. MIN 100 CFM, 1.5 SONES OR BETTER. FANS SHALL TERMINATE HORIZONTALLY OR VERTICALLY TO THE EXTERIOR OF THE HOUSE.
- DOOR JAMBS SHALL BE 3 1/2" TYPICAL UNLESS OTHERWISE NOTED
- CONTRACTOR TO VERIFY TO INSPECTOR PRIOR TO FINAL DEMO INSPECTION LOCATION, AND CONFIRMATION OF NON-STRUCTURAL DEMOED WALLS.
- ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACK-UP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS SHALL BE INTERCONNECTED AND COMPLY WITH HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. CONTRACTOR TO OBTAIN FIRE ALARM PERMIT FOR APPROPRIATE FIRE ALARM SYSTEM INSTALLER.
- KITCHEN EXHAUST FAN TO BE A MINIMUM OF 100 CFM. KITCHEN EXHAUST HOODS EXCEEDING 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR FROM THE SAME ROOM PER 2019 IRC SECTION M1503.6
- BATHROOM EXHAUST FAN TO BE A MINIMUM OF 50 CFM

AREAS:
 LEVEL 1: 749 SF OF CONDITIONED SPACE
 LEVEL 1: 950 SF OF UNCONDITIONED SPACE (BATHROOM, OOG WASH AND LAUNDRY MISC ROOM)
 LEVEL 2: 290 SF OF CONDITIONED SPACE
 TOTAL AREA: 999 SF OF CONDITIONED LIVING, 555 SF OF UNCONDITIONED/UNHEATED SPACE

FLOOR PLAN KEYNOTES



DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
D10	36"	80"	2	<varies>
D2	30"	84"	2	<varies>
D2G	30"	77"	2	GLASS DOOR
D3	32"	68"	4	ENTRY DOOR
D4	36"	80"	2	<varies>
D6S	66"	72"	2	<varies>
D9	36"	84"	2	<varies>
D10	48"	80"	2	<varies>
EXD			2	EXISTING DOOR
TOTAL: 20				

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
W1	32"	32"	4	FIXED WINDOW
W2	46"	20"	7	<varies>
W3	46"	60"	6	<varies>
TOTAL: 17				

GLAZING SCHEDULE

MARK	AREA	COUNT	TYPE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL2	59 SF	1	5' 6" WIDE
GL2	53 SF	1	5' 6" WIDE
GL2	54 SF	1	5' 6" WIDE
GL2	59 SF	1	5' 6" WIDE
TOTAL: 8			

103 91st Ave SE, Lake Stevens, WA 98258 | 4254780327
www.drift-ia.com

Registered Architect
State of Washington

Prepared Architect: M. Dale

JOY MORTON'S ADU

PROJECT NAME: JOY MORTON
 PROJECT ADDRESS: 11025 KELLY RD NE
 PROJECT NUMBER: A102B

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT

DATE RECEIVED NUMBER: XXXXXX

MARK PROJECT NUMBER: XXXXXX



OWNER'S USE: Author



DRAWING NAME: FLOOR PLAN

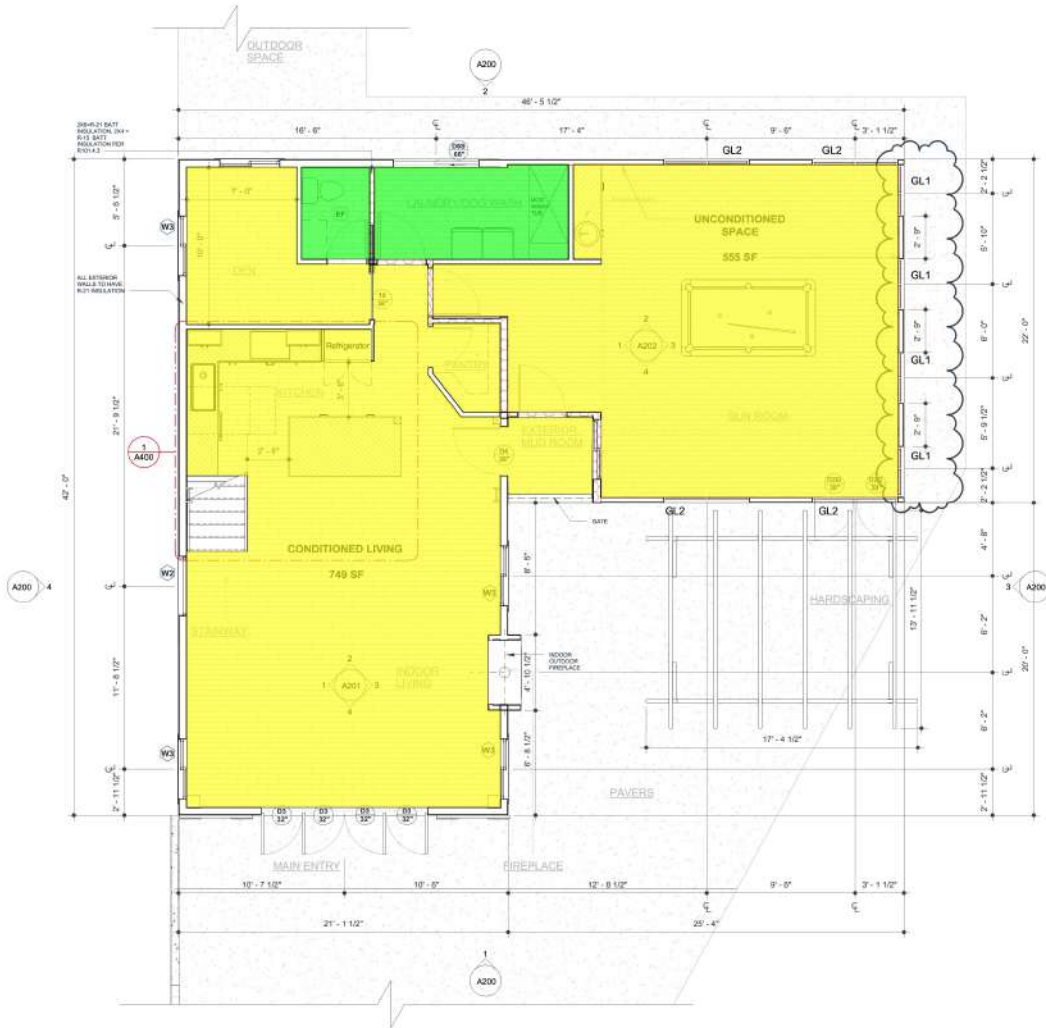
DRAWING NO: A102B

DATE: 18-12-2023 19:27:03

SCALE: 1/4" = 1'-0"

 Moisture Resistant Ceiling
 5/8" Type "X" Gypsum Board Ceiling

100.0 SQ FT 
 1215.7 SQ FT 



1 PROPOSED FIRST FLOOR PLAN Copy 1
 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- 50 CFM EXHAUST FAN AT ALL NEW BATHROOMS
- CONTRACTOR WILL APPLY FOR PLUMBING, MECHANICAL, ELECTRICAL PERMITS SEPARATELY.
- IRC M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM EACH DWELLING UNIT SHALL BE EQUIPPED WITH A MECHANICAL VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.
- IRC M1505.4.1.1 WHOLE-HOUSE SYSTEM COMPONENT REQUIREMENTS WHOLE-HOUSE VENTILATION SUPPLY AND EXHAUST FANS SPECIFIED IN THIS SECTION SHALL HAVE A MINIMUM EFFICACY AS PRESCRIBED IN THE WASHINGTON STATE ENERGY CODE.
 - IN NEW MASTER BATH AND W/C ON MAIN FLOOR, INSTALL PANASONIC WHERPERLLET FAN SIZED PER SPACE (5 CFM, 1.0 SONES OR BETTER) FANS SHALL TERMINATE HORIZONTALLY TO THE EXTERIOR OF THE HOUSE.
 - NEW KITCHEN HOOD TO BE SELECTED- MIN 100 CFM, 1.5 SONES OR BETTER, FANS SHALL TERMINATE HORIZONTALLY OR VERTICALLY TO THE EXTERIOR OF THE HOUSE.
- DOOR JAMBS SHALL BE 3 1/2" TYPICAL UNLESS OTHERWISE NOTES
- CONTRACTOR TO VERIFY TO INSPECTOR PRIOR TO FINAL DEMO INSPECTION LOCATION, AND CONFIRMATION OF NON-STRUCTURAL DEMOED WALLS.
- ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACK-UP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS SHALL BE INTERCONNECTED AND COMPLY WITH HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. CONTRACTOR TO FULL FIRE ALARM PERMIT FOR APPROPRIATE FIRE ALARM SYSTEM INSTALLER.
- KITCHEN EXHAUST FAN TO BE A MINIMUM OF 100 CFM. KITCHEN EXHAUST HOODS EXCEEDING 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR FROM THE SAME ROOM PER 2019 IRC SECTION M1503.6
- BATHROOM EXHAUST FAN TO BE A MINIMUM OF 50 CFM

AREAS:
 LEVEL 1: 749 SF OF CONDITIONED SPACE
 LEVEL 1: 555 SF OF UNCONDITIONED SPACE (BATHROOM, DOG WASH AND LAUNDRY MUDROOM)
 LEVEL 2: 290 SF OF UNCONDITIONED SPACE
TOTAL AREA: 999 SF OF CONDITIONED LIVING, 555 SF OF UNCONDITIONED/UNHEATED SPACE

FLOOR PLAN KEYNOTES

 NEW CONSTRUCTION
 EXISTING TO REMAIN

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
D10	36"	80"	2	<varies>
D2	30"	84"	2	<varies>
D2G	30"	77"	2	GLASS DOOR
D3	32"	68"	4	ENTRY DOOR
D4	36"	80"	2	<varies>
D8S	66"	72"	2	<varies>
D9	36"	84"	2	<varies>
D10	48"	80"	2	<varies>
EXD			2	EXISTING DOOR
TOTAL: 20				

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
W1	32"	32"	4	FIXED WINDOW
W2	46"	20"	7	<varies>
W3	46"	60"	6	<varies>
TOTAL: 17				

GLAZING SCHEDULE

MARK	AREA	COUNT	TYPE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL2	59 SF	1	5' 6" WIDE
GL2	53 SF	1	5' 6" WIDE
GL2	54 SF	1	5' 6" WIDE
GL2	59 SF	1	5' 6" WIDE
TOTAL: 8			



JOY MORTON'S ADU

REGISTERED ARCHITECT
 JOY MORTON
 PROJECT ADDRESS
 11025 KELLY RD NE

REVISION LOG

REV #	DATE	DESCRIPTION
1	Date 1	Revision 1

STATUS: **PERMIT**

SPD PROJECT NUMBER:

Map Project Number: XXXXXX

Drawn By: KRB

SHEET NAME: **FLOOR PLAN**

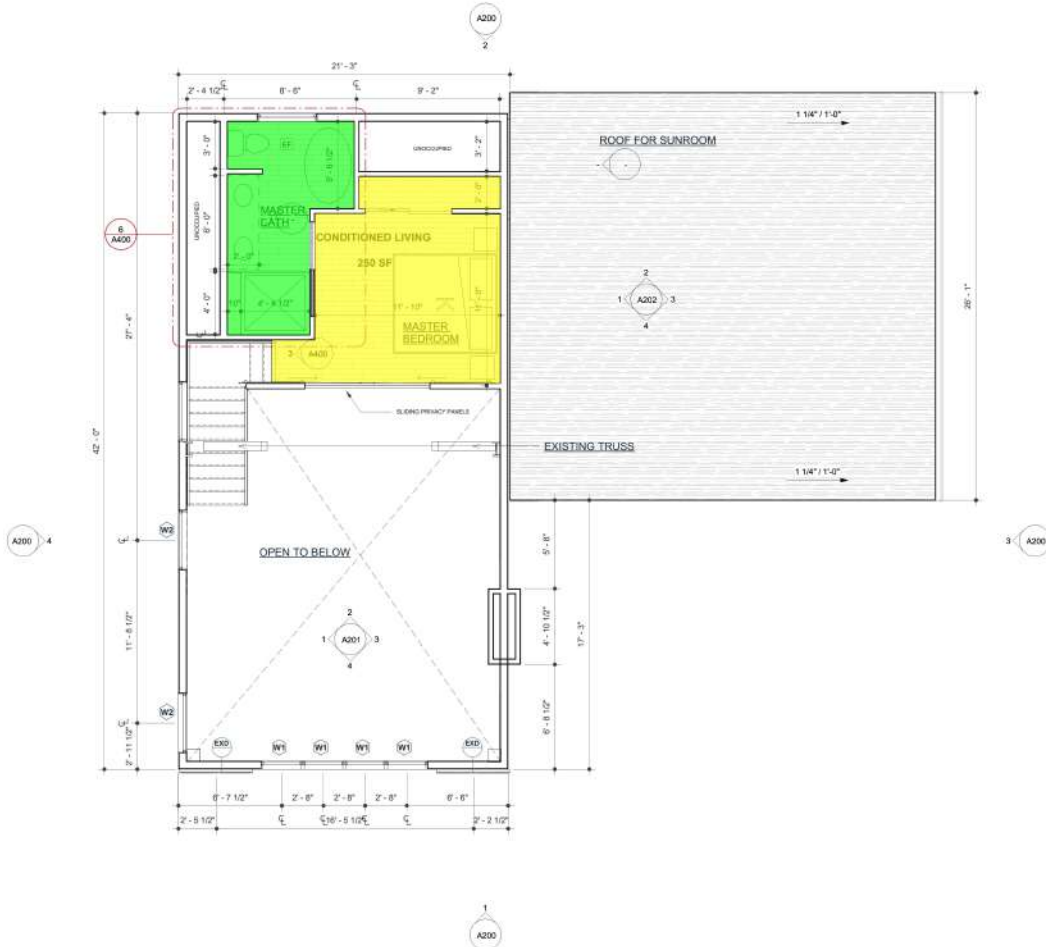
SHEET NO: **A101B**

DATE: 18-12-2023 19:27:02

SCALE: 1/4" = 1'-0"

Moisture Resistant Ceiling
 5/8" Type "X" Gypsum Board Ceiling

87.4 SQ FT
 156.9 SQ FT



1 PROPOSED SECOND FLOOR PLAN Copy 1
 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- 50 CFM EXHAUST FAN AT ALL NEW BATHROOMS.
- CONTRACTOR WILL APPLY FOR PLUMBING, MECHANICAL, ELECTRICAL PERMITS SEPARATELY.
- IRC M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.
- IRC M1505.4.1 WHOLE-HOUSE SYSTEM COMPONENT REQUIREMENTS WHOLE HOUSE VENTILATION SUPPLY AND EXHAUST FANS SPECIFIED IN THIS SECTION SHALL HAVE A MINIMUM EFFICACY AS PRESCRIBED IN THE WASHINGTON STATE ENERGY CODE.
 - IN NEW MASTER BATH AND W/C ON MAIN FLOOR, INSTALL PANASONIC WHERPERLUET FAN SIZED PER SPACE (15 CFM, 1.0 BONES OR BETTER). FANS SHALL TERMINATE HORIZONTALLY TO THE EXTERIOR OF THE HOUSE.
 - NEW KITCHEN HOOD TO BE SELECTED, MIN 100 CFM, 1.5 BONES OR BETTER. FANS SHALL TERMINATE HORIZONTALLY OR VERTICALLY TO THE EXTERIOR OF THE HOUSE.
- DOOR JAMBS SHALL BE 3 1/2" TYPICAL UNLESS OTHERWISE NOTES.
- CONTRACTOR TO VERIFY TO INSPECTOR PRIOR TO FINAL DEMO INSPECTION LOCATION, AND CONFIRMATION OF NON-STRUCTURAL DEMOED WALLS.
- ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACK-UP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS SHALL BE INTERCONNECTED AND COMPLY WITH HOUSEHOLD FIRE WIRING EQUIPMENT PROVISIONS OF NFPA 72. CONTRACTOR TO OBTAIN FIRE ALARM PERMIT FOR APPROPRIATE FIRE ALARM SYSTEM INSTALLER.
- KITCHEN EXHAUST FAN TO BE A MINIMUM OF 100 CFM.
 - KITCHEN EXHAUST HOODS EXCEEDING 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR FROM THE SAME ROOM PER 2019 IRC SECTION M1503.6.
- BATHROOM EXHAUST FAN TO BE A MINIMUM OF 50 CFM.

AREAS:

LEVEL 1: 749 SF OF CONDITIONED SPACE
 LEVEL 1: 595 SF OF UNCONDITIONED SPACE (SUNROOM, OGG WASH AND LAUNDRY MUDROOM)
 LEVEL 2: 250 SF OF CONDITIONED SPACE
 TOTAL AREA: 999 SF OF CONDITIONED LIVING, 555 SF OF UNCONDITIONED/UNHEATED SPACE

FLOOR PLAN KEYNOTES

NEW CONSTRUCTION
 EXISTING TO REMAIN

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
D10	36"	80"	2	<varies>
D2	30"	84"	2	<varies>
D2G	30"	77"	2	<varies>
D3	32"	68"	4	GLASS DOOR ENTRY DOOR
D4	36"	80"	2	<varies>
D8S	66"	72"	2	<varies>
D9	36"	84"	2	<varies>
D10	48"	80"	2	<varies>
EXD			2	EXISTING DOOR
TOTAL: 20				

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
W1	32"	32"	4	FIXED WINDOW
W2	46"	20"	7	<varies>
W3	46"	60"	6	<varies>
TOTAL: 17				

GLAZING SCHEDULE

MARK	AREA	COUNT	TYPE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL2	59 SF	1	5' 6" WIDE
GL2	53 SF	1	5' 6" WIDE
GL2	54 SF	1	5' 6" WIDE
GL2	59 SF	1	5' 6" WIDE
TOTAL: 8			

DRIFT INTERIOR ARCHITECTURE

103 91st Ave SE, Lake Stevens, WA 98258 4254780327

www.drift-ia.com



Registered Architect in WA State

JOY MORTON'S ADU

REGISTERED ARCHITECT
 JOY MORTON
 PROJECT ADDRESS
 11025 KELLY RD NE

REVISION LOG

REV # DATE DESCRIPTION

STATUS PERMIT

SPD PROJECT NUMBER

Mark Project Number XXXXXX

Drawn By: Author

DRAWN BY: Author

DRAWN BY: Author

DRAWN BY: Author

DRAWN BY: Author

DRAWN BY: Author

DRAWN BY: Author

DRAWN BY: Author

DRAWN BY: Author

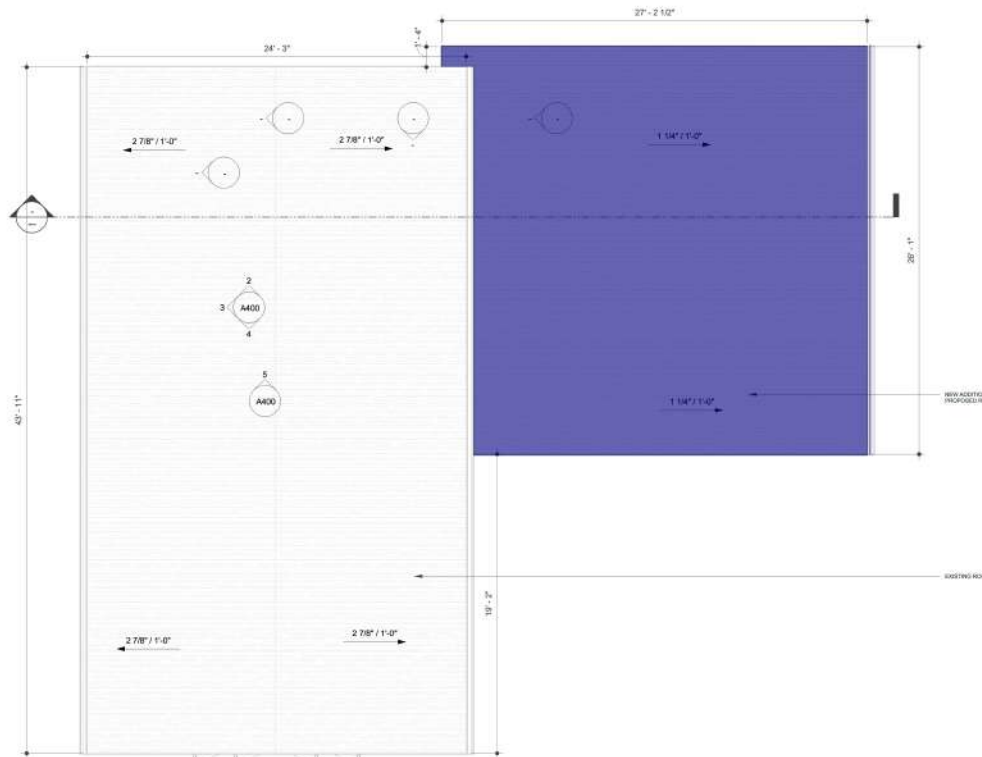
DRAWN BY: Author

DRAWN BY: Author

FLOOR PLAN

A102B

1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- ALL DIMENSIONS ARE FROM FACE OF STUD OF NEW WALLS AND FINISHED SURFACE OF EXISTING WALLS UNLESS OTHERWISE NOTED.
- TYPICAL INTERIOR PARTITION IS 2x4 STUD @ 16" O.C. WITH ONE LAYER OF 1/2" GYP BOARD ON EACH SIDE, EXCEPT WHERE NOTED ON PLANS. USE 2x6 STUDS AT PLUMBING WALLS.
- 50 CFM EXHAUST FAN AT ALL NEW BATHROOMS
- CONTRACTOR WILL APPLY FOR PLUMBING, MECHANICAL, ELECTRICAL PERMITS SEPARATELY.
- IRC M1505.4 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM EACH DWELLING UNIT SHALL BE EQUIPPED WITH A MECHANICAL VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.
 - IRC M1505.4.1.1 WHOLE-HOUSE SYSTEM COMPONENT REQUIREMENTS WHOLE HOUSE VENTILATION SUPPLY AND EXHAUST FANS SPECIFIED IN THIS SECTION SHALL HAVE A MINIMUM EFFICACY AS PRESCRIBED IN THE WASHINGTON STATE ENERGY CODE.
 - IN NEW MASTER BATH AND W/C ON MAIN FLOOR, INSTALL PANASONIC WHERPERLETT FAN SIZED PER SPACE (5 CFM, 1.0 BONES OR BETTER) FANS SHALL TERMINATE HORIZONTALLY TO THE EXTERIOR OF THE HOUSE.
 - NEW KITCHEN HOOD TO BE SELECTED, MIN 100 CFM, 1.5 BONES OR BETTER, FANS SHALL TERMINATE HORIZONTALLY OR VERTICALLY TO THE EXTERIOR OF THE HOUSE.
- DOOR JAMBS SHALL BE 3 1/2" TYPICAL UNLESS OTHERWISE NOTED
- CONTRACTOR TO VERIFY TO INSPECTOR PRIOR TO FINAL DEMO INSPECTION LOCATION, AND CONFIRMATION OF NON-STRUCTURAL DEMOED WALLS.
- ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACK-UP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS SHALL BE INTERCONNECTED AND COMPLY WITH HOUSEHOLD FIRE WIRING EQUIPMENT PROVISIONS OF NFPA 72. CONTRACTOR TO FULL FIRE ALARM PERMIT FOR APPROPRIATE FIRE ALARM SYSTEM INSTALLER.
- KITCHEN EXHAUST FAN TO BE A MINIMUM OF 100 CFM. KITCHEN EXHAUST HOODS EXCEEDING 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR FROM THE SAME ROOM PER 2019 IRC SECTION M1503.6
- BATHROOM EXHAUST FAN TO BE A MINIMUM OF 50 CFM

AREAS:
 LEVEL 1: 749 SF OF CONDITIONED SPACE
 LEVEL 1: 595 SF OF UNCONDITIONED SPACE (BATHROOM, OOG WASH AND LAUNDRY MUDROOM)
 LEVEL 2: 250 SF OF CONDITIONED SPACE
TOTAL AREA: 999 SF OF CONDITIONED LIVING, 555 SF OF UNCONDITIONED/UNHEATED SPACE

FLOOR PLAN KEYNOTES



DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
D10	36"	80"	2	<varies>
D2	30"	84"	2	<varies>
D2G	30"	77"	2	GLASS DOOR
D3	32"	68"	4	ENTRY DOOR
D4	36"	80"	2	<varies>
D6S	66"	72"	2	<varies>
D9	36"	84"	2	<varies>
D10	48"	80"	2	<varies>
EXD			2	EXISTING DOOR
TOTAL:				20

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
W1	32"	32"	4	FIXED WINDOW
W2	46"	20"	7	<varies>
W3	46"	60"	6	<varies>
TOTAL:				17

GLAZING SCHEDULE

MARK	AREA	COUNT	TYPE	
GL1	30 SF	1	4' WIDE	
GL1	30 SF	1	4' WIDE	
GL1	30 SF	1	4' WIDE	
GL1	30 SF	1	4' WIDE	
GL2	59 SF	1	5' 6" WIDE	
GL2	53 SF	1	5' 6" WIDE	
GL2	54 SF	1	5' 6" WIDE	
GL2	59 SF	1	5' 6" WIDE	
TOTAL:				8

103 91st Ave SE, Lake Stevens, WA 98258
 4254780327
 www.drift-ia.com



Prepared Architect's Seal Date

JOY MORTON'S ADU

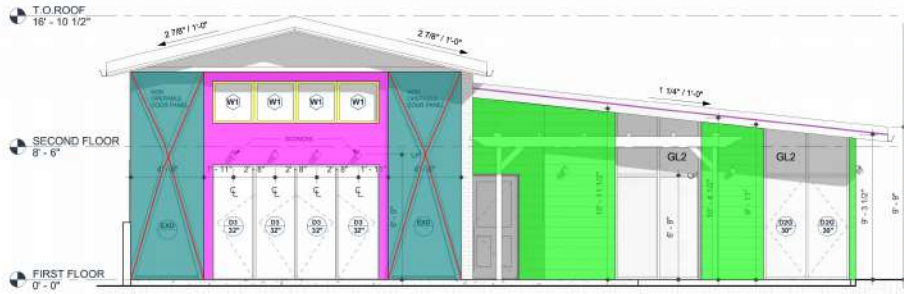
CLIENT NAME: JOY MORTON
 PROJECT ADDRESS: 11025 KELLY RD NE
 REGISTERED ARCHITECT: DRIFT INTERIOR ARCHITECTURE
 MULTIPLE ADDRESS: [blank]

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT
 (SPD) PROJECT NUMBER:
 (Map) Project Number: XXXXXX
 (Drawn By): Author

ROOF PLAN
A102C
 Scale: 1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



3 RIGHT ELEVATION
1/4" = 1'-0"



4 LEFT ELEVATION
1/4" = 1'-0"

- Exterior Horizontal Siding
- Fire Place Wall Brickwork
- Non Operable Door Panel
- Exterior Stucco Finish
- Exterior Window Wood Trim
- (10" width) offside Fire Place Wall Brickwork
- Fascia
- Non Operable Wood Bracing

ELEVATION GENERAL NOTES

- 365.3 SQ FT
- 48.1 SQ FT
- 125.0 SQ FT
- 911.1 SQ FT
- 209.9 FT
- 26.0 FT
- 80.5 FT
- 56.6 FT

ELEVATION KEYNOTES

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
D10	36"	80"	2	<varies>
D2	30"	84"	2	<varies>
D2G	30"	77"	2	GLASS DOOR
D3	32"	68"	4	ENTRY DOOR
D4	36"	80"	2	<varies>
D6S	66"	72"	2	<varies>
D9	36"	84"	2	<varies>
D10	48"	80"	2	<varies>
EXD			2	EXISTING DOOR
TOTAL: 20				

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
W1	32"	32"	4	FIXED WINDOW
W2	46"	20"	7	<varies>
W3	46"	60"	6	<varies>
TOTAL: 17				

GLAZING SCHEDULE

MARK	AREA	COUNT	TYPE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL2	59 SF	1	5' 6" WIDE
GL2	53 SF	1	5' 6" WIDE
GL2	54 SF	1	5' 6" WIDE
GL2	59 SF	1	5' 6" WIDE
TOTAL: 8			



JOY MORTON'S ADU

CLIENT NAME: JOY MORTON
PROJECT ADDRESS: 11025 KELLY RD NE

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS: PERMIT

SPD PERMIT NUMBER: XXXXXX

Mark Project Number: KRB

OWNER'S NAME: KRB

BUILDING ELEVATION

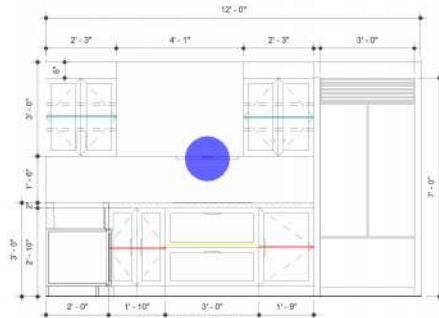
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DATE: 18-10-2023 19:27:19

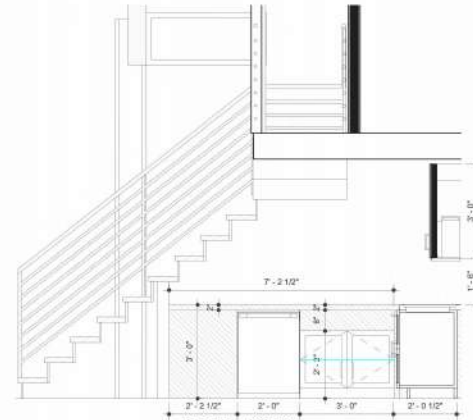
SCALE: 1/4" = 1'-0"



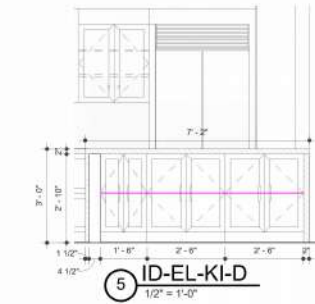
1 ENLARGED KITCHEN CALLOUT
1/2" = 1'-0"



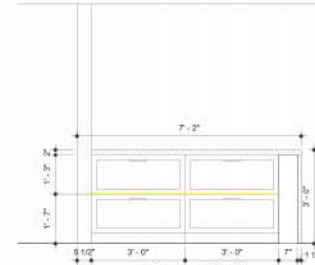
2 ID-EL-KI-A
1/2" = 1'-0"



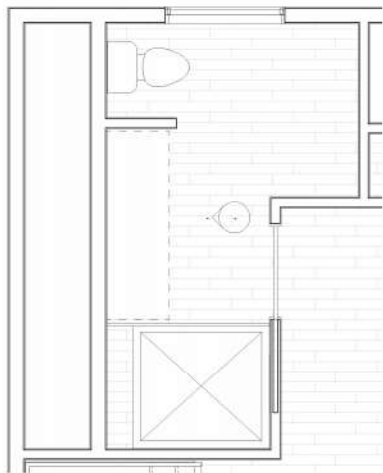
3 ID-EL-KI-B
1/2" = 1'-0"



5 ID-EL-KI-D
1/2" = 1'-0"



4 ID-EL-KI-C
1/2" = 1'-0"



6 ENLARGED MASTER BATH CALLOUT
1/2" = 1'-0"

•••	Cooking Range	1.0 EA	
•••	Range Hood	1.0 EA	
•••	Refrigerator	1.0 EA	
•••	Microwave	1.0 EA	
	(2'-4"H x 2'-0"D) Kitchen Upper Cabinets with Adjustable Shelf	4.5 FT	
	(2'-6"H x 2'-0"D) Kitchen Base Cabinets	3.6 FT	
	(2'-6"H x 2'-0"D) Kitchen Base Drawers	9.0 FT	
	(2'-6"H x 2'-0"D) Island Base Cabinets	6.5 FT	
	(1'-10"H x 2'-0"D) Kitchen Base Cabinets	3.0 FT	
	Kitchen Countertop	31.6 SQ FT	
	Island Countertop	26.9 SQ FT	



Registered Architect in WA State

JOY MORTON'S ADU

CLIENT NAME: JOY MORTON
PROJECT ADDRESS: 11025 KELLY RD NE
WALTON ADDRESS: [Redacted]

REVISION LOG		
REV #	DATE	DESCRIPTION

STATUS:	PERMIT
SPD PROJECT NUMBER:	
Blak Project Number:	XXXXXX
CREATED BY:	Author
SHEET NAME:	ENLARGED DETAILS
SHEET NO:	A400
Scale:	1/2" = 1'-0"

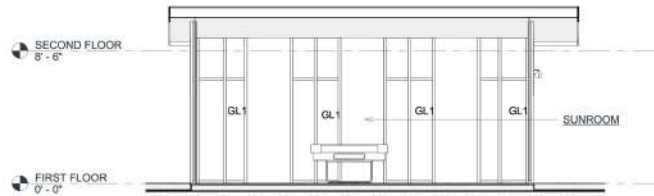


Fire Place Wall Brickwork

ELEVATION GENERAL NOTES

48.1 SQ FT

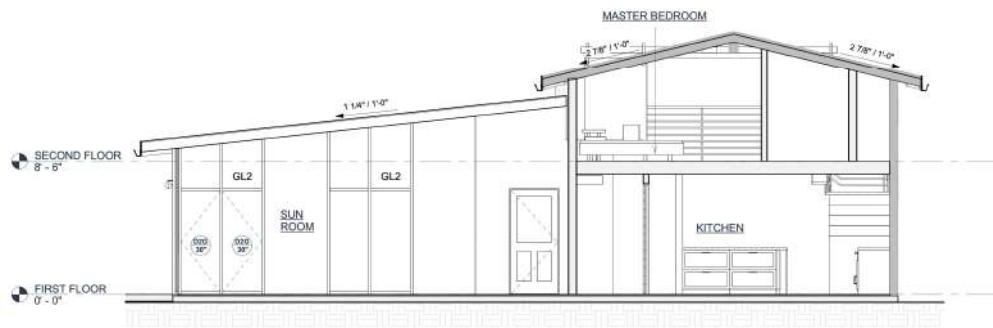
1 INT-EL2-A
1/4" = 1'-0"



3 INT-EL2-B
1/4" = 1'-0"



2 INT-EL2-C
1/4" = 1'-0"



4 INT-EL2-D
1/4" = 1'-0"

ELEVATION KEYNOTES

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
D10	36"	80"	2	<varies>
D2	30"	84"	2	<varies>
D2G	30"	77"	2	GLASS DOOR
D3	32"	88"	4	ENTRY DOOR
D4	36"	80"	2	<varies>
D6S	66"	72"	2	<varies>
D9	36"	84"	2	<varies>
D10	48"	80"	2	<varies>
EXD			2	EXISTING DOOR
TOTAL: 20				

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	COUNT	TYPE
W1	32"	32"	4	FIXED WINDOW
W2	46"	20"	7	<varies>
W3	46"	60"	6	<varies>
TOTAL: 17				

GLAZING SCHEDULE

MARK	AREA	COUNT	TYPE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL1	30 SF	1	4' WIDE
GL2	59 SF	1	5' 6" WIDE
GL2	53 SF	1	5' 6" WIDE
GL2	54 SF	1	5' 6" WIDE
GL2	59 SF	1	5' 6" WIDE
TOTAL: 8			



JOY MORTON'S ADU

CLIENT NAME: JOY MORTON
PROJECT ADDRESS: 11025 KELLY RD NE
REGISTERED ARCHITECT: JOY MORTON
REGISTERED CONTRACTOR: JOY MORTON
REGISTERED ADDRESS: 11025 KELLY RD NE

REVISION LOG

REV #	DATE	DESCRIPTION

STATUS

PERMIT

SPD PERMIT NUMBER

XXXXXX

OWNER'S IN

KRB

SHEET NAME

INTERIOR ELEVATION

SHEET NO.

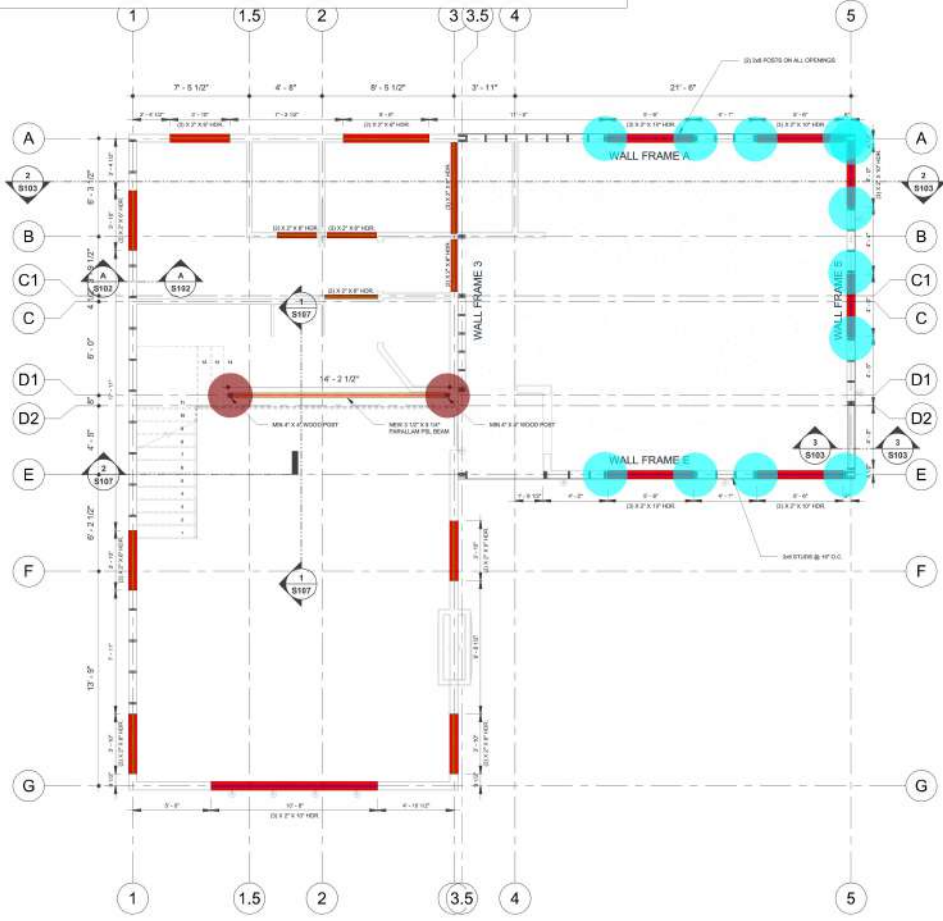
A202

DATE

1/4" = 1'-0"

- (2) 2" x 6" HDR
- (3) 2" x 10" HDR
- (3 1/2" x 9 1/4") Parallam PSL Beam
- (2) 2"x6" Posts
- (4"x4" Wood Post

- 46.8 FT
- 40.7 FT
- 13.6 FT
- 12.0 EA
- 2.0 EA



1 FIRST FLOOR WALL FRAMING PLAN
1/4" = 1'-0"

1. ALL JOIST FRAMING IS 16" O.C. UNLESS OTHERWISE DESIGNATED

Cara Morton, P.E
Resilient Structures,
PLLC

Rossie, WA 98973-1730

PROFESSIONAL CERTIFICATION

JOY MORTON'S ADU

CLIENT NAME
JOY MORTON
PROJECT ADDRESS
11825 KELLY RD NE

REVISION LOG

REV #	DATE	DESCRIPTION
1	11/05/2023	30%
2	01/10/2024	NEW WEST SHEAR WALL ARRANGEMENT

PERMIT

EPD PERMIT NUMBER

EMA Project number: XXXXXX

DESIGNED BY:





 ANJULA NEGBEA
 +54 703 112 3837
 www.cmajmorton.com
 ctm@cmajmorton.com

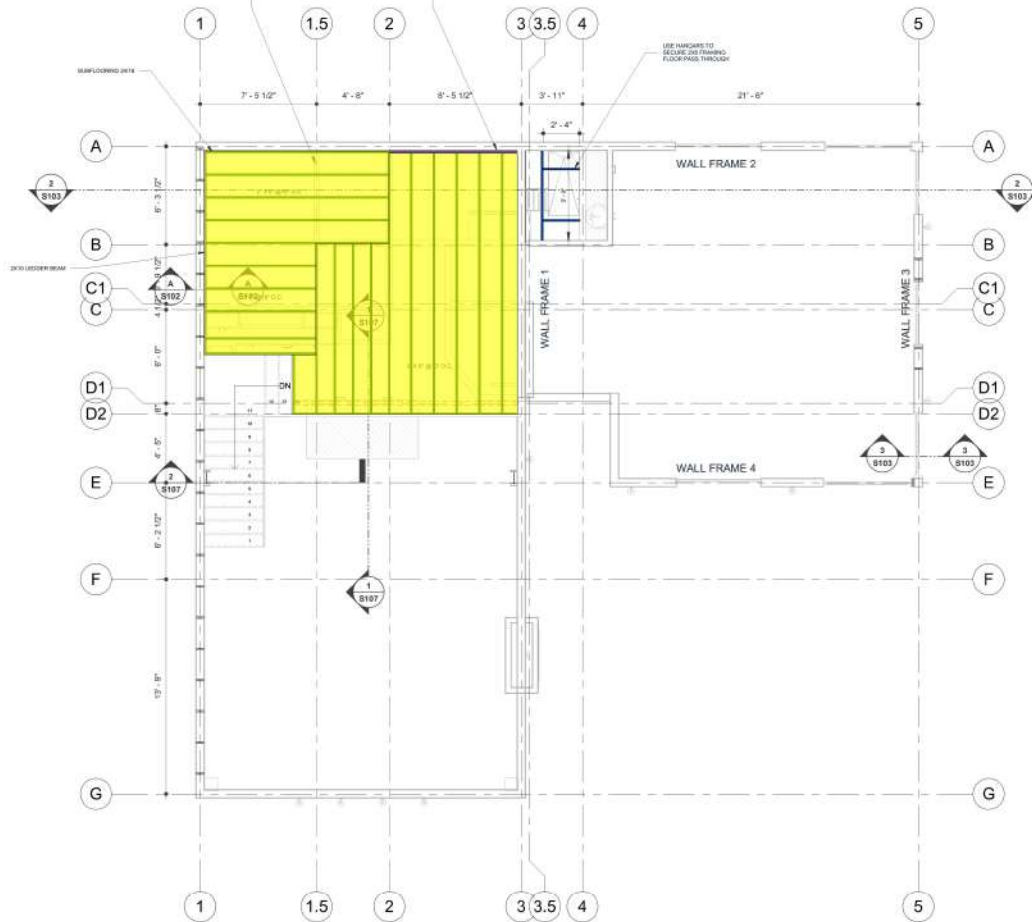
SHEET NAME:
FIRST FLOOR WALL FRAMING PLAN

SHEET NO:
S101

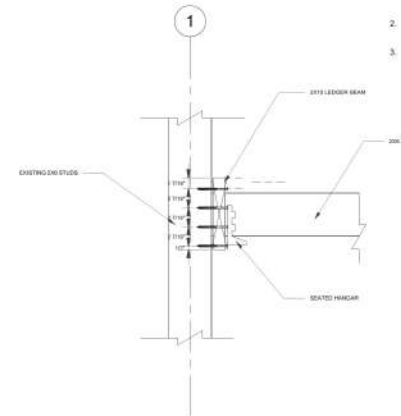
Scale: 1/4" = 1'-0"

-  2"x12" Ledger Beam
-  2"x10" Ledger Beam
-  2" x 6" Floor Joist @ 16" O.C.
-  2"x6" Opening Joists

-  8.2 FT
-  13.1 FT
-  316.5 SQ FT
-  10.4 FT



1 SECOND FLOOR JOIST PLAN
1/4" = 1'-0"



A DETAIL - JOIST TO EXISTING WALL TIE-IN
1 1/2" = 1'-0"

LEDGER BEAM NOTES:

1. ADD A JACK STUD UNDER EACH END OF THE LEDGER BEAM. THE CAPACITY OF THE LEDGER-TO-STUD SCREW REDUCES TO 90% WITHIN 6 INCHES OF THE EDGE OF THE LEDGER BEAM.
2. WHEN FASTENING WITHIN 2-4 INCHES OF THE END OF THE LEDGER BEAM, PREDRILL 5/32" BIT.
3. SCREWS MAY BE FASTENED WITH WSP BETWEEN THE SIDE AND MAIN MEMBER, PROVIDED THE WSP IS FASTENED PER CODE AND THE MINIMUM SCREW PENETRATION OF 2 1/2 INCHES INTO THE MAIN MEMBER IS MET.

Cara Morton, P.E
Resilient Structures,
PLLC

Rossia, WA 98973-1730

PROFESSIONAL CERTIFICATION

JOY MORTON'S ADU

CLIENT NAME: JOY MORTON
 PROJECT ADDRESS: 11825 KELLY RD NE
 DESIGNER: CARA MORTON, P.E.
 RELEASED/CONTACT: CARA MORTON, P.E.
 REVISIONS/NOTES:

REVISION LOG

REV #	DATE	DESCRIPTION
1	11/05/2023	90%
2	01/10/2024	NEW WEST SHEAR WALL ARRANGEMENT

PERMIT

EPD PERMIT NUMBER

EMA Project number: XXXXXX

DESIGNED BY: CM

ALLIJA NEGBEA
+54 703 112 3837
www.cmamorton.com
cm@cmamorton.com

SHEET NAME:
SECOND FLOOR JOIST PLAN

SHEET NO:
S102

SCALE: As indicated

2" x 10" Roof Joist @ 16" O.c.
 2" x 8" Roof Outridgers @ 16" O.c.

523.2 SQ FT
 158.6 SQ FT

Cara Morton, P.E
 Resilient Structures,
 PLLC

Rosalia, WA 909.730.1730

PROFESSIONAL CERTIFICATION

JOY MORTON'S ADU

CLIENT NAME: JOY MORTON
 PROJECT ADDRESS: 11825 KELLY RD NE
 DESIGNER: RESILIENT STRUCTURES, PLLC
 REGISTERED ARCHITECT: RESILIENT STRUCTURES, PLLC

REVISION LOG

REV #	DATE	DESCRIPTION
1	11/05/2023	30%
2	01/10/2024	NEW WEST SHEAR WALL ARRANGEMENT

PERMIT

EPD PERMIT NUMBER

EMA Project number: XXXXXX

DESIGNED BY: CM
 ANJULA, NEGESEA +254 703 112 3837
 www.cmajmorton.com
 cmaj@cmajmorton.com

SHEET NAME: ROOF FRAMING PLAN

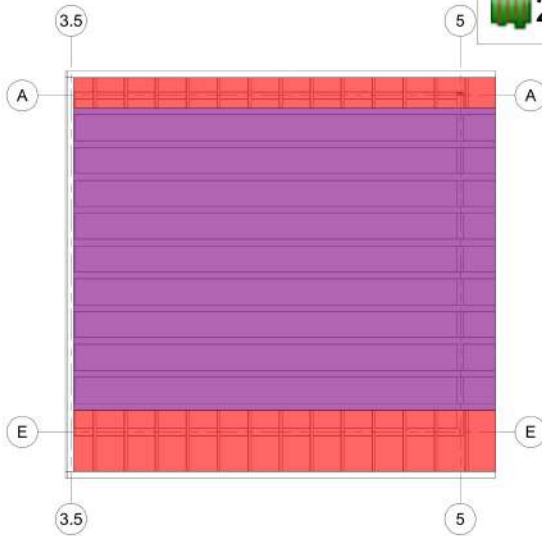
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SCALE: As indicated

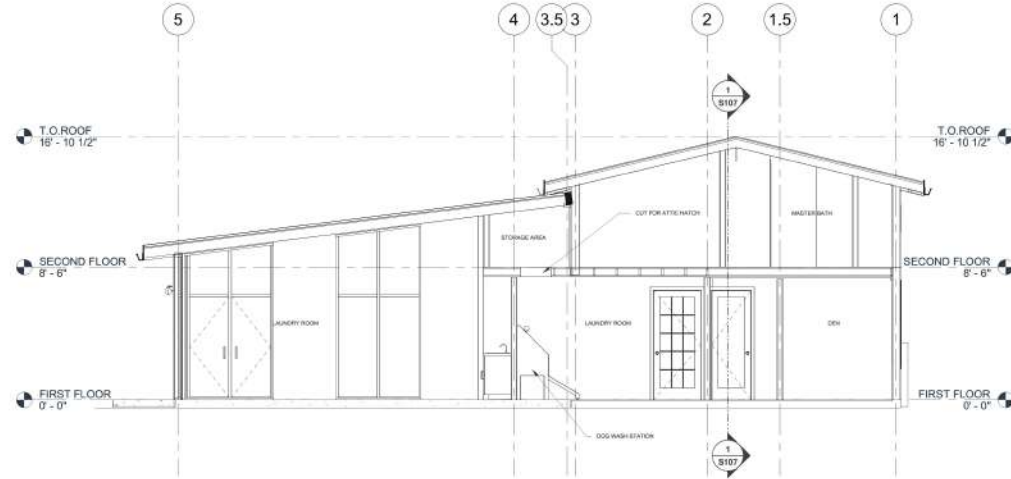
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PRINT DATE: 2/16/2024 4:30:31 PM

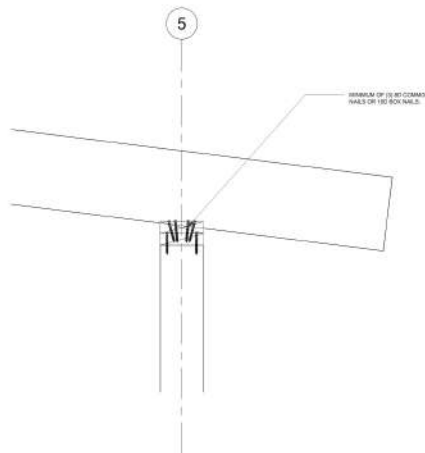
ORIGINAL DRAWING SIZE IS 36" X 24" DO NOT SCALE DRAWINGS FOR MEASUREMENTS



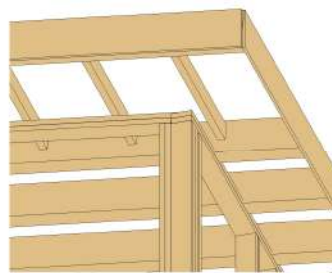
1 SUNROOM ROOF FRAMING PLAN
 1/4" = 1'-0"



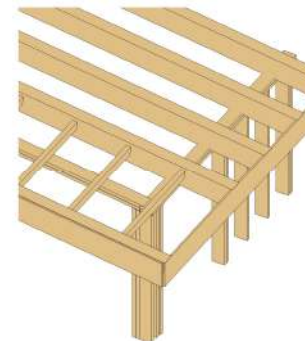
2 SECTION X-X
 1/4" = 1'-0"



3 RAFTER DETAIL
 1 1/2" = 1'-0"



4 RAFTER ISOMETRIC VIEW 1



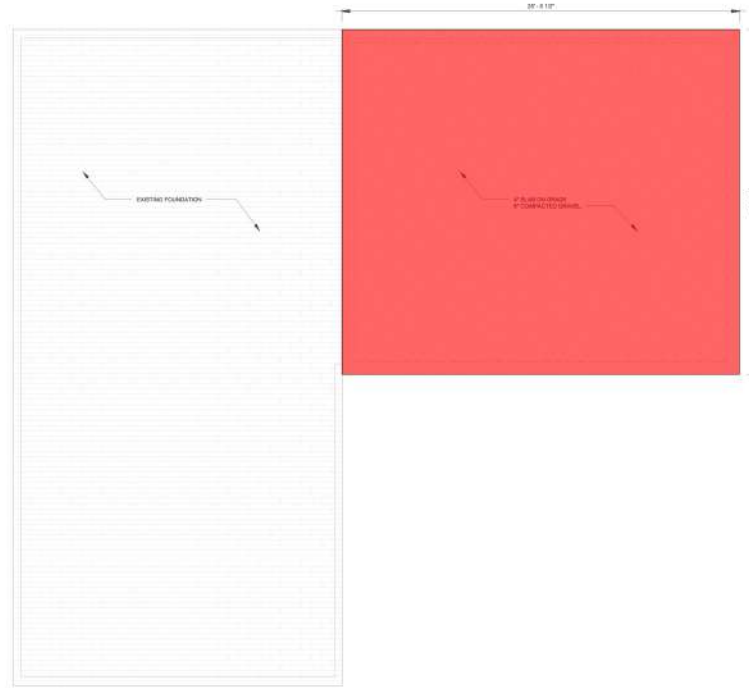
5 RAFTER ISOMETRIC VIEW 2

FOUNDATION NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITY SERVICES AND SLOPE PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
3. CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING THE CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
4. SEE ARCHITECTURAL DRAWINGS FOR CONCRETE SLAB ELEVATIONS, DEPRESSIONS, SLOPES, OPENINGS, CURBS, DRAINS, TRENCHES, SLAB EDGE LOCATIONS, ETC., AND FOR WALL OVERALL DIMENSIONS, LOCATIONS OF OPENINGS, ETC., NOT INDICATED ON STRUCTURAL DRAWINGS.
5. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO COMMENCING THE WORK.
6. ALL DIMENSIONS SHALL BE VERIFY IN FIELD PRIOR TO COMMENCING ANY DEMOLITION.
7. FOR FOUNDATION/SOIL/DRAINAGE SPECIFICATION REFER TO SOIL GEOTECHNICAL REPORT.
8. FOUNDATION PLANS AND PERTINENT DETAILS SHALL BE REVIEWED AND APPROVED BY THE SOILS ENGINEER PRIOR TO ANY FOUNDATION WORK. SOIL REPORT SHALL BE TAKEN PRECEDENCE OVER STRUCTURAL NOTES AND DETAILS. SITE GRADING, SUBGRADE PREPARATION, EXCAVATION, AND PLACEMENT OF ENGINEERED FILL MATERIAL SHALL BE PERFORMED IN ACCORDANCE WITH THE SOIL REPORT AND GRADING PLANS. ALL EXCAVATION AND PLACEMENT OF ENGINEERED FILL SHOULD BE OBSERVED AND APPROVED BY THE SOILS ENGINEER BEFORE PLACEMENT OF REBAR.
9. SURFACE OUTSIDE THE HOUSE NEEDS TO HAVE 1% SLOPE (UNPAVED SURFACE) & 2% SLOPE (PAVED SURFACE) AWAY FROM THE STRUCTURE.
10. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
11. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
12. CONTRACTOR TO PROVIDE WATERPROOFING AS REQUIRED TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
13. CONCRETE SLABS TO BE 4" (3000 PSI MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.
14. CONTRACTOR TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. VERIFY LOCAL CODES.
15. REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING AND SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.
16. PROVIDE JOISTS UNDER ALL WALLS RUNNING PARALLEL.

4" Slab On Grade

563.3 SQ FT



1 FOUNDATION PLAN
1/4" = 1'-0"

Cara Morton, P.E
Resilient Structures,
PLLC

Rosalia, WA 909.730.1730

PROFESSIONAL CERTIFICATION

JOY MORTON'S ADU

CLIENT NAME: **JOY MORTON**
PROJECT ADDRESS: **11825 KELLY RD NE**
REGISTERED: []
REGISTERED CONTRACTOR: []
REGISTERED ARCHITECT: []

REVISION LOG

REV #	DATE	DESCRIPTION
1	11/05/2023	30%
2	01/10/2024	NEW WEST SHEAR WALL ARRANGEMENT

STATUS: **PERMIT**

EPS# PERMIT NUMBER: []

EMA Project number: XXXXXX

CREATED BY: **CM**
ARJUNA, NIGESHA
+54 703 112 3837
www.cmmorton.com
cm@resilientstructures.com

SHEET NAME: **FOUNDATION PLAN**

SHEET NO: **S106**

Scale: 1/4" = 1'-0"